



botanic ridge
SITING & DESIGN CONTROLS
botanic ridge south – stage 1

PEARCEDALE ROAD, BOTANIC RIDGE

Prepared by Tract Consultants &
The Irwin Alsop Group
for
Leederville Pty Ltd

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botanic ridge

TRACT CONSULTANTS PTY LTD
ACN 055 213 842
195 LENNOX STREET RICHMOND
VICTORIA AUSTRALIA
PO BOX 181 RICHMOND
VICTORIA 3121 AUSTRALIA
TELEPHONE 03 9429 6133
FACSIMILE 03 9429 5925
E-mail melbourne@tract.net.au



THE IRWIN ALSOP GROUP



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1 Control Objectives

1.1 The Vision

Botanic Ridge South has been developed for families who have a conscious awareness of the environment and where housing development conforms to good planning principles in a layout, that respects and builds on the existing environment, has responsible conservation management, and introduces compatible landscape architecture and architectural design. Dwellings at Botanic Ridge South are set back to include landscaping as detailed in the Tree Planting Masterplan. Streetscapes include front garden plantings and both the private and public realms. The Tree Planting Masterplan can be found as an attachment to the S173 Agreement applying to the land.

It is anticipated that the residents will be second and third homebuyers, who are wanting space, security and privacy and to live in a house of contemporary Australian design.

The developers of the estate consciously do not want the estate to become a collection of reproduction houses of yesteryear, but to be a collection of contemporary Australian houses that obey the rules of good planning, of privacy, of solar awareness and visual design.

These design controls have been established in conjunction with the City of Casey to interpret the type of development the City of Casey and the developers consider most appropriate for this site.

To that end, the Controls are very specific on setbacks, planting, colours and dominant architectural features of the buildings, but allow freedom for each owner to, within the philosophy, have their own interpretation.

The interpretation of the controls and the approval of the plans is vested with this development through a Design Assessment Panel (DAP) process who will view all applications in the light of these Siting and Design Controls. The panel will work with applicants to ensure the optimum development on each site is achieved and the Controls as required are appropriately interpreted for each unique lot situation.

Key goals sought through the development are:

- Legal Basis: These controls are bound by a S173 Agreement and must be adhered to. They do not apply to non-residential development, which will need to be the subject of a planning application.
- Provide a safe, amenable accessible and socially cohesive environment for all residents and visitors to the estate.
- Protect and enhance remnant and constructed habitats on both public and private land.
- Maximise the reuse and retention of water on site.
- To create a truly 'green' living environment that compliments the ecology of the Royal Botanic Gardens Cranbourne.

- To create a future neighbourhood character where the landscape, specifically tree planting, dominates the built form.
- To embrace the Gardens, and their visual and ecological influence and extend that influence into the new housing development in a way that it can be viewed as an extension of the Gardens.
- Maximise the use of renewable energy sources and encourage efficient and responsible energy management practices.
- Improve the quality of water entering waterways through and from the estate.
- Protect soil within and ensure sediment does not leave the estate.
- Minimise the use of materials which deplete natural resources and ensure no sediments that create toxic pollution are used.
- Protect the view lines from within the Royal Botanic Gardens to surrounding areas.
- Preclude bad design outcomes by assisting purchasers, designers and builders in providing housing, which takes optimum advantage of the local setting, climate and outdoor lifestyle opportunities.
- To produce streetscapes which maximize the amenity and attractiveness of the public domain including streets and parks.
- To distinguish particular places and frontages where a defined landscape treatment should be incorporated such as along main entry avenues.
- To deliver high quality design and product.

1 Control Objectives

1.1 About Botanic Ridge

Botanic Ridge is a new suburb comprising 286 Ha with extensive areas of open space for recreation and revegetation to complement the Royal Botanic Gardens Cranbourne. The site is being developed for a range of lots, creating a high standard of living for Cranbourne in an environment that enhances the environmental values of the area.

Botanic Ridge is located south of Cranbourne Township. The area has been designed in close consultation with both Casey City Council and the managers of the Royal Botanic Gardens Cranbourne with an agreed objective to rehabilitate the Cranbourne South area and create a new form of environmental living.

The overall area is expected to accommodate a maximum of 1,450 lots and a vast area of open space that will be vegetated to complement the Botanic Gardens and to establish a new standard of environmental living for Cranbourne.

The area is known as Stage 1 of the Botanic Ridge Development Plan area and is being developed in two main sections. Both seek to implement the Vision for Botanic Ridge as detailed in Section 1.1. This vision forms part of an agreed design commitment, implemented through the legal agreement between the developer, of the north and south portions of Stage 1 and the City of Casey.

The vision includes revegetation of the site and sensitive treatment of water across the whole of the estate.

It promotes a range of environmental objectives including reducing off site pollutants, complementing the habitat values promoted by the Botanic Gardens and enabling the whole community to enjoy environmental and social benefits of a quality nature based living environment.

To achieve the vision, the northern part of Botanic Ridge includes the incorporation of a golf course. This is integral to achieving the overall aims of maintaining and treating stormwater discharge on site as well as providing a green buffer between the estate and adjoining uses.

A core focus of the southern part of Botanic Ridge is also the dominance of green spaces in key landscape features of the site. This includes the establishment of ridge top parks to reduce the visual impact of any dwellings on the surrounding area and making the public park the pride of the estate. Public access will be the feature of the hill tops, with revegetation of public spaces to promote a natural environment throughout the estate.

Around the periphery of the site (adjoining Browns and Pearcedale Road), development in both the north and south will maintain a rural feel with use of larger lots and building setback orientation to complement the rural residential developments to the south and west. **(Refer Figure 1 – Location Plan)**



Figure 1 – Location Plan



1 Control Objectives

1.2 Botanic Ridge South

The southern half of the area is being developed as a landscaped based environment, consistent with City of Casey's policies and the legal agreement that applies to the land.

Parts of the southern part of Stage 1 Botanic Ridge are within the viewshed of the Botanic Gardens. **These controls relate to Stage 1 only which is not within this viewshed. (Refer Figure 1)**

In areas outside the viewshed some pockets of smaller lots will be encouraged to promote neighbourhood character diversity in housing choice and social sustainability. Design controls on these smaller lots will continue to promote a natural landscape through building design, materials and landscaping.

1.3 About these controls

The controls have been prepared to protect the interests of residents, surrounding land owners and Council alike as well as to guide the future development. In particular the controls direct individual house developments to achieve the broader environmental goals for the Botanic Ridge area and create a positive neighbourhood character. House and garden designers must adhere to these design standards so that houses and their allotments are constructed as quality products. The controls ensure that not just your property, but those of your entire neighbourhood, are built to a level that provides both a healthy environment and an optimum investment.

All dwellings within Stage 1 of the estate must address these Siting and Design Controls. For details regarding the approval process please refer to Section 5.

For further clarification on items in these controls, please refer to the Casey Planning Scheme Definitions.





1 Control Objectives

1.4 Objectives

With these broader environmental goals in mind the key objectives of these Siting and Design Controls are to:

- Establish an estate that can integrate with both the Royal Botanic Gardens – Cranbourne to the north east and the existing rural residential development to the south and west.
- Protect and enhance the flora and fauna of the Royal Botanic Gardens – Cranbourne.
- Protect the view lines to and from the Royal Botanic Gardens – Cranbourne through promoting a dense tree canopy across the estate, particularly within the defined viewshed of the Gardens.
- Retain and restore a stormwater management system that promotes a natural flow and quality through and from the site.
- Intergrate principles of ESD into individual lot development through siting, design and function requirements.
- Reinforce indigenous landscape themes developed in public spaces (including road reserves and open space areas) into individual lots.

- Create a diversity of housing styles that integrate with the environmental objectives of the site and complements the surrounding rural residential area.
- Design of streets, housing and lots will form an integrated package. Each nominated lot will have space set aside for tree planting in designated “Tree Planting Zones”.

The Siting and Design Controls will be included as part of the Contract of Sale for each lot.



1 Control Objectives

1.5 How to use these controls

The following controls contain both advisory and mandatory requirements against which the Design Assessment Panel (DAP) will assess designs in order to provide approval. This review system will continue twelve (12) months after the last lot is sold. Following that time, individuals will need to ensure their plans comply with the Siting and Design Controls, and can verify this with Council's staff as required.

The mandatory requirements are clearly identified as "MR" (Mandatory Requirements). These requirements are prescriptive and must be met. The DAP is not able to approve a proposal that is inconsistent with a MR. Design related requirements are shown as "DR".

The Design Requirements (DR) are goal and objective driven and should be normally met. If the landowner/developer can demonstrate that an alternative design meets the intent of the design requirements, the alternative design may be considered.

The Controls checklist is provided opposite.

Applicants should check their applications against this checklist prior to seeking approval to ensure their application has addressed all

aspects of the Controls.

Control Checklist

- Site Plan – (1:200) showing contours.
- Building Plans.

Sketch designs (1:100) of proposed dwelling and outbuildings including:

- Internal layout including rooms, balconies, verandahs, decks, windows, openings and dimension.
- All elevations.
- Roof form and pitch.
- Sections through dwelling, indicating where cut and fill are required across the site.
- Details of external materials and colours, particularly of walls, roofs and any solid fencing/retaining walls.

Landscape Plan:

Sketch design of proposed landscaping (1:200) detailing.

- Location and detail of all planting, utilising preferred plant schedule wherever possible. **(Refer Appendix 2)**
- Detail of any vegetation on the site to be removed. Note most trees retained on the estate are considered significant and should not be removed as a result of building.
- Details of any fences, retaining walls or other landscape structures.
- Details of any external lighting.
- Details of design and materials of hard surfaces including driveways, pathways and other hard standing areas such as swimming pools and tennis courts.



2 Controls – House Siting & Orientation

2.1 House Siting

A building envelope plan has been prepared for each lot and will be included in individual Contracts of Sale. The building envelope provides the minimum setbacks from property boundaries for buildings and structures such as houses and outbuildings. The envelope ensures that there is adequate room within each site to establish and maintain areas of native vegetation. In particular areas at the front and rear of lots are to be promoted for vegetation. (Refer Appendix 1)

MR1 – Only one dwelling may be developed on each lot, except in the case of a nominated cluster or integrated housing site. In addition, no further subdivision of lots is permitted.

MR2 – All buildings and structures (excluding fences and light poles) are to be located within the building envelope, as detailed on the Contract of Sale.

450–650m²

Minimum setbacks:

Front: 4.0m

Rear: 4.0m

Pergola: 3.0m

651–850m²

Minimum setbacks:

Front: 5.0m

Rear: 6.0m

Pergolas: 3.0m

851–1000+m²

Minimum setbacks:

Front: 6.0m

Rear: 6.0m

Pergola: 4.0m

MR3 – The area defined as the rear tree planting zone on the building envelope plan will be planted and maintained with two (2) nominated trees, complimentary to the adjacent lots, so as to provide a cohesive tree canopy. Appendix 2 of the Controls lists indicative preferred plants for the estate, the final selection of which will be approved as part of detailed construction plans for each stage. The area defined as the front tree planting zone on the building envelope plan will be planted out in accordance with the approved tree planting masterplan and building envelope and protected by the owner/occupier with at least one (1) tree of the same species as the adjoining street reserve.

MR4 – Dwellings and outbuildings (excluding fences and light poles) adjacent to Browns Road and Pearcedale Road must be set back a minimum of 20 metres from the boundary abutting the tree reservation fronting either of these roads.

MR5 – Houses upon allotments that abut either a service road or a tree reserve contiguous with Browns or Pearcedale Road must be sited to address these roads.

MR6 – All excavation and fill to be a maximum of 1 metre. Natural batters are preferred rather than retaining walls where excavation or fill is required.



Section Demonstrating Excavation and Fill (MR 6)



2 Controls – House Siting & Orientation

2.2 Building Height

All buildings in Stage 1 are outside the viewshed.

MR7 – Dwellings outside the designated viewshed of the Botanic Gardens must not exceed 8.5 metres.

MR8 – Buildings should be designed to complement the natural topography wherever possible.

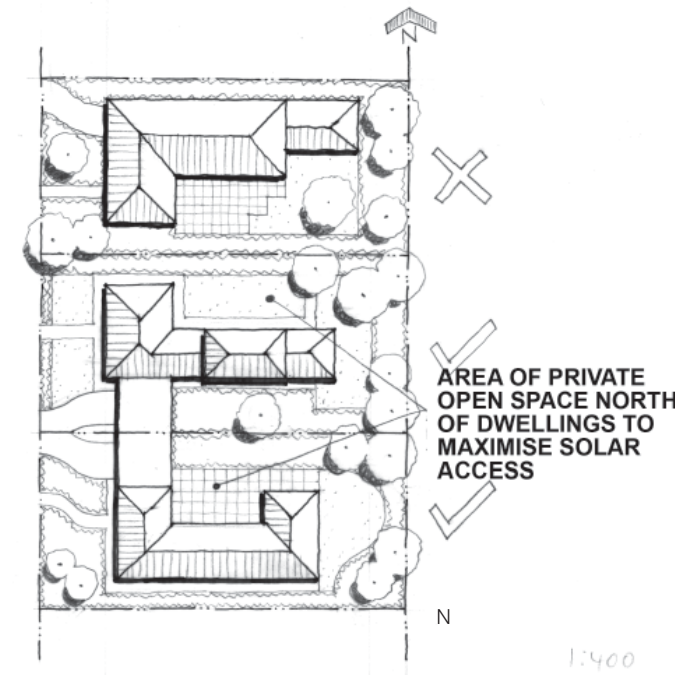
Dwellings that “step” down any hill or slope are encouraged. This will minimise visual intrusion of the dwelling and to reduce the impact of the dwelling on the local micro environment.

2.3 Solar Penetration

Where possible, building openings and private open space areas should be orientated to maximise winter solar penetration ~ generally to the north and east. Solar shade elements should also be incorporated into the residential built form to protect the dwelling from western sun. (i.e. minimising windows on the west or providing exterior shade elements on this building side.)

DR1 – Orientate dwellings to maximise north solar penetration to living areas and shade outdoor living areas from westerly sun. Overshadowing of neighbouring properties is to be minimised.

DR2– Allow adequate daylight into habitable room windows.



DR1 – Dwelling Orientation Suggestions

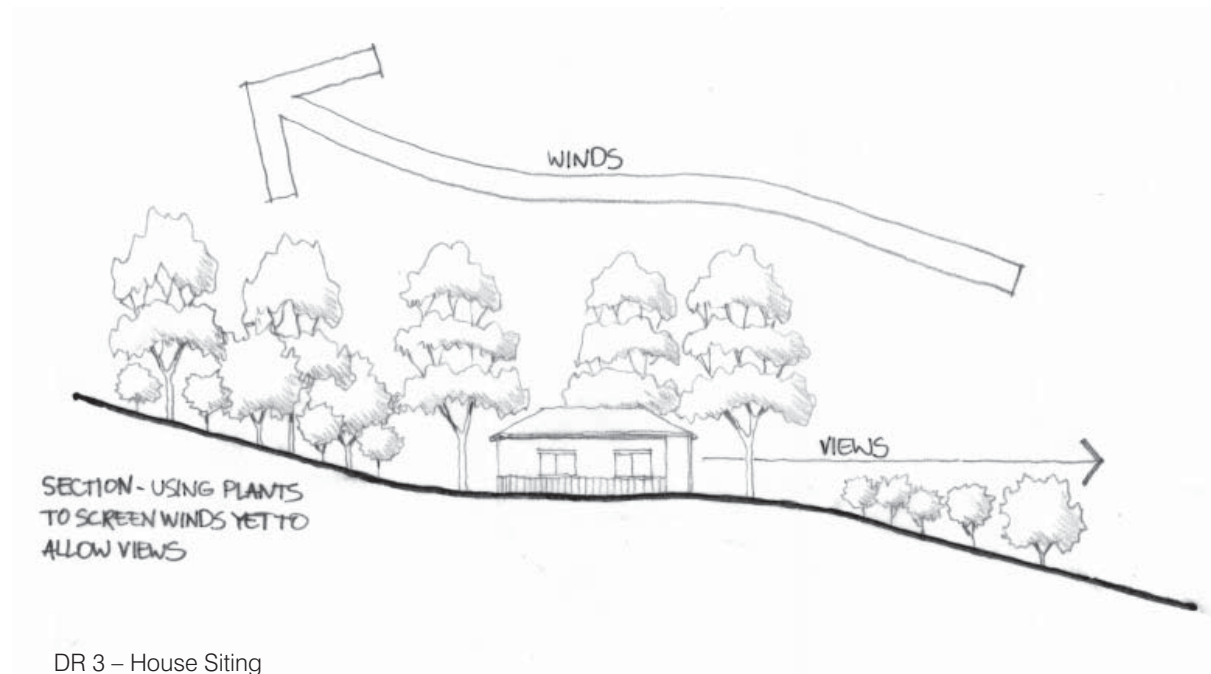
2 Controls – House Siting & Orientation

2.4 Prevailing Winds

Prevailing summer winds can assist in providing natural ventilation and cooling to a building. Dwellings can also be protected from cooler winter winds to improve winter insulation of dwellings.

The location of vegetation, windows and outdoor living areas can all impact on the wind that can flow through a dwelling as natural ventilation. Carefully located windows for cooling breezes (west to east) can provide natural ventilation in summer.

DR3 – Consider the location of openable windows and doors to allow natural ventilation of dwellings through summer and protection from cold winter winds.





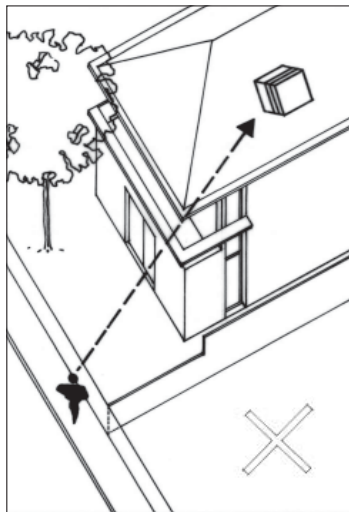
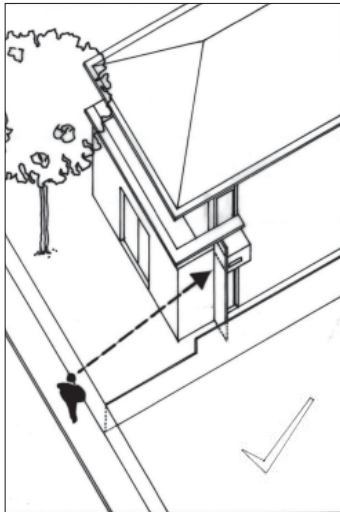
2 Controls – House Siting & Orientation

2.5 External structures and outbuildings

MR9 – Service features including water tanks, hot water systems, satellite dishes, external plumbing (other than roof spouting) and heating / cooling equipment must be screened from view from all public areas including streets, and open space.

MR10 – To maintain a high standard of streetscape within the development, letterbox design should reflect the main character and design of residence.

MR11– The maximum floor area for any outbuilding is 40sqm with a maximum height of 3.6 metres to the peak of roof.



MR9 – External Structures screened from view



No services visible



No services visible



2 Controls – House Siting & Orientation

2.6 Garages/carports, vehicle access and parking

In order to provide an active frontage to streets and promote green spaces in front yards, garages/carports need to be located in a manner that they do not dominate the street or the front yard of each dwelling.

Preferred access points will be shown on the building envelope plan attached to the Contract of Sale and depend on final landscape and construction design.

MR12 – Minimum width of front wall of the dwelling facing street of 5 metres.

MR13 – Garages/carports must be setback 1 metre behind building facade. Double garages/carports must not exceed 40% of frontage width. Triple fronted garages/carports are not permitted.

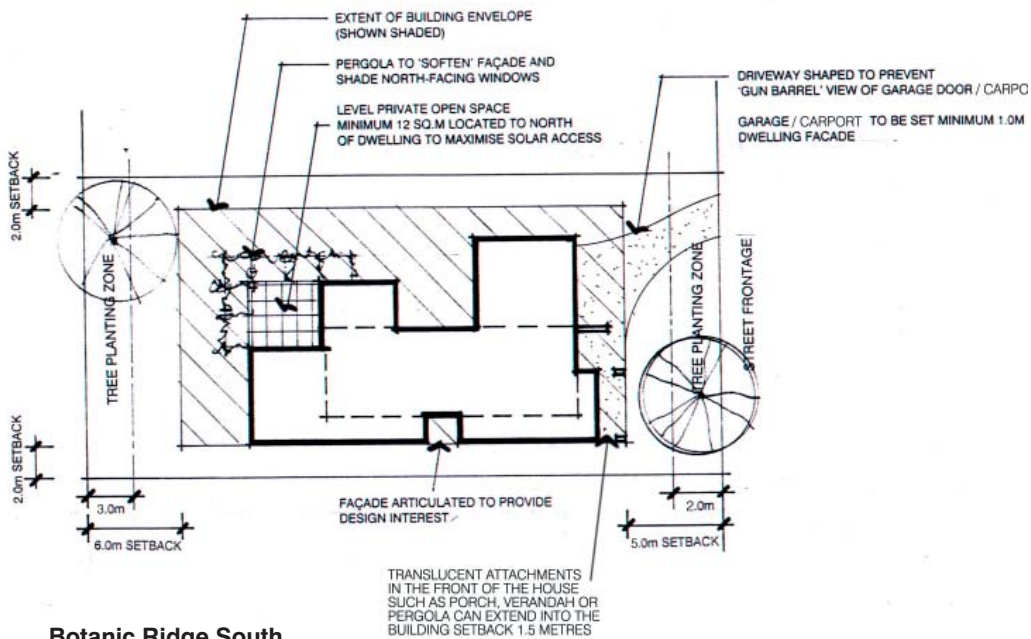
DR4 – Garages/carports may be permitted to be constructed to one boundary of an allotment. The maximum length of building on boundary of any lot must not exceed 10 metres. Garages/carports may either be integral parts of the dwelling or freestanding structures.

MR14 – Driveways must not exceed 4 metres in width, widening to 5.5 m near double garage/carport entries. Generally, paved areas should be minimised to allow natural water infiltration and to reduce stormwater flows as well as maximising landscape opportunities. Driveways, pathways and other hard surfaces may be constructed of coloured concrete, or patterned concrete, cement or clay pavers or natural stone. Natural stone aggregate finishes are also suitable. All driveways should follow natural ground level and be no more than 1:6 gradient.

DR5 – Where swing in garges are incorporated the following setbacks apply:

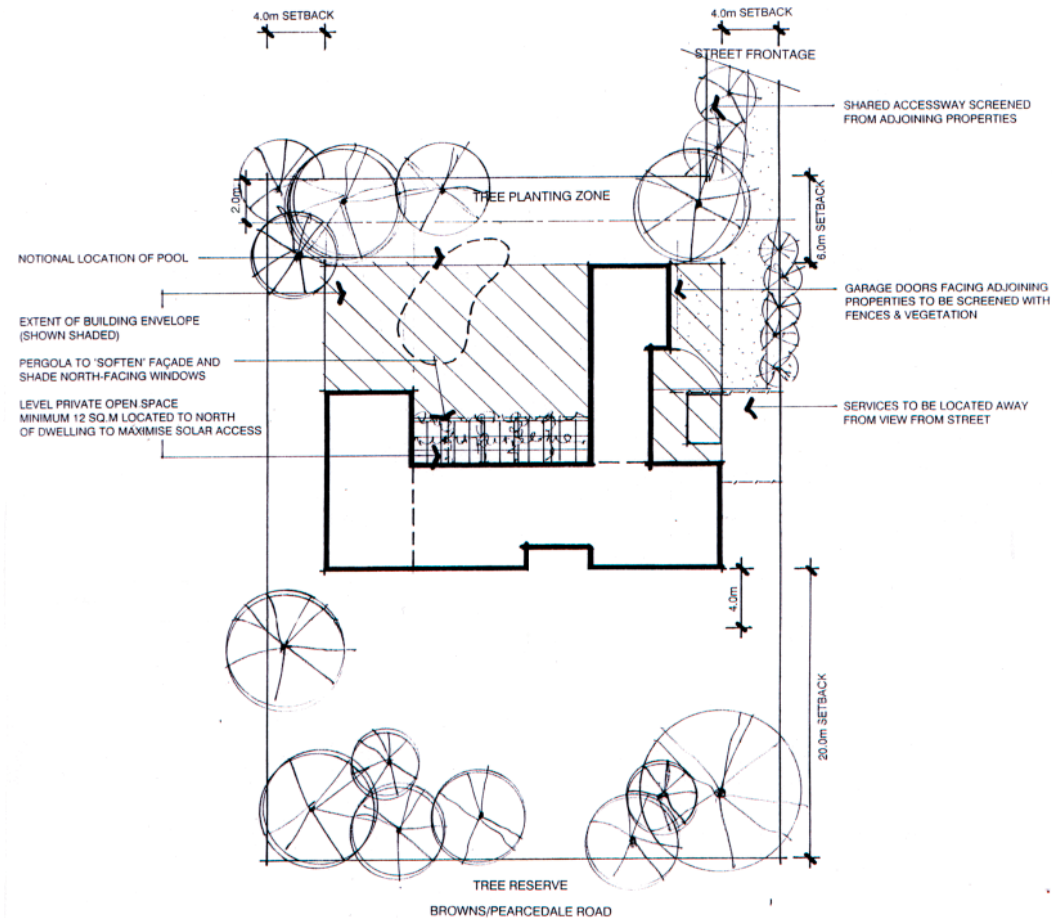
450–650 sqm:	4m
651–850 sqm:	5m
851–1000+sqm:	6m

The side wall must be designed to address the street frontage which could include a second storey above the garage.



Botanic Ridge South

Notional Building Footprint
750-850 sqm lot



Botanic Ridge South

Notional Building Footprint 1600
sqm lot addressing Browns and
Pearcedale Roads

2 Controls – House Siting & Orientation

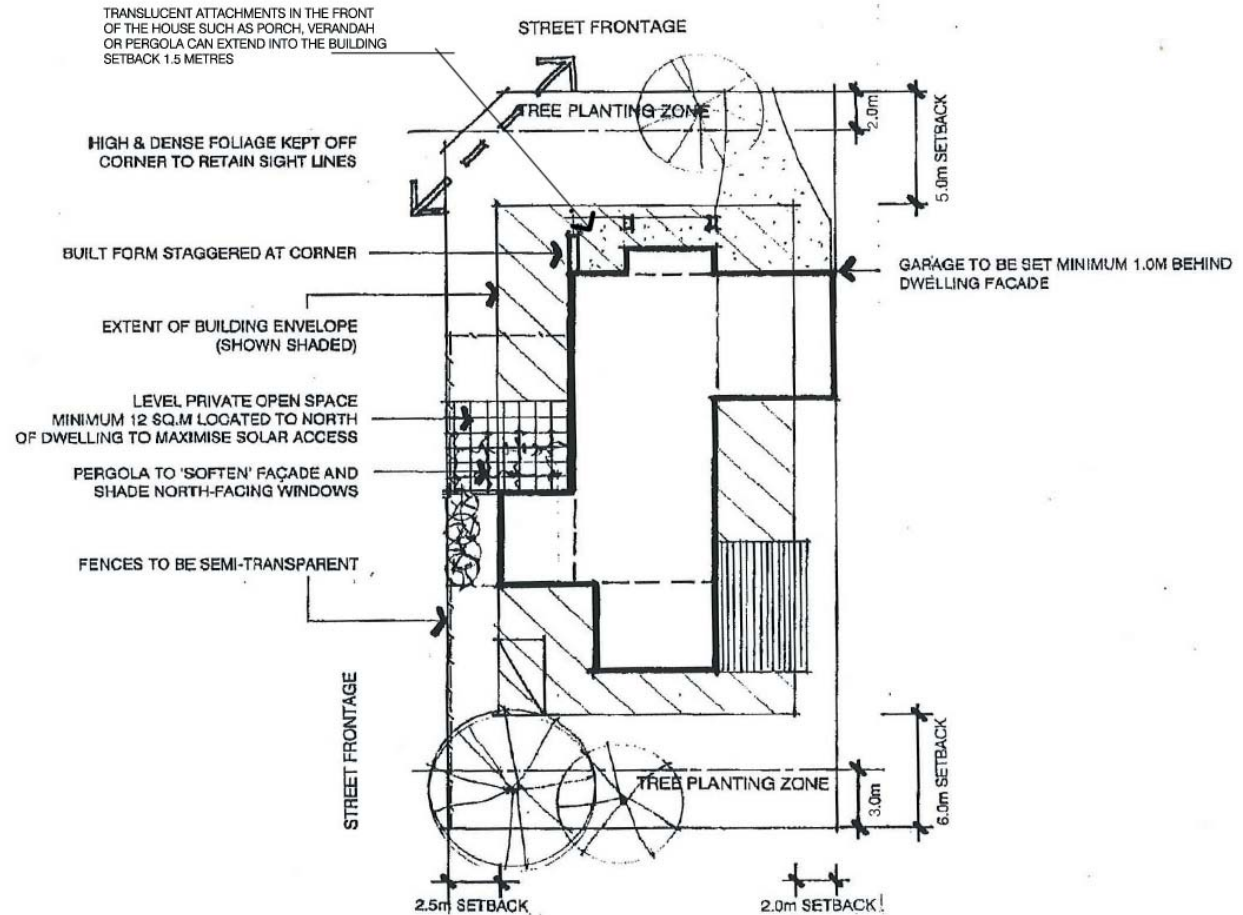
DR6 – Colours of garages/carports used should complement the dwelling. The garage/carport roof is to complement the roof style of the dwelling. Refer Section 3.1 for further details regarding preferred external colours and materials. The garage door should complement dwelling design and preferably be a tilt up panel door.

DR7 – Only one standard single width crossover will be provided per lot. Crossovers will generally be on the north side of an east/west lot to improve solar access.

MR15 – Boats, caravans, trailers, commercial vehicles and similar equipment must be stored out of view of the street.



Garage complementing dwelling



Botanic Ridge South

Notional Building Footprint
Corner Lot- 650-750 sqm

2 Controls – House Siting & Orientation

2.7 Fences

To maintain the environmental and rural based character of the estate, fencing should be minimised where possible.

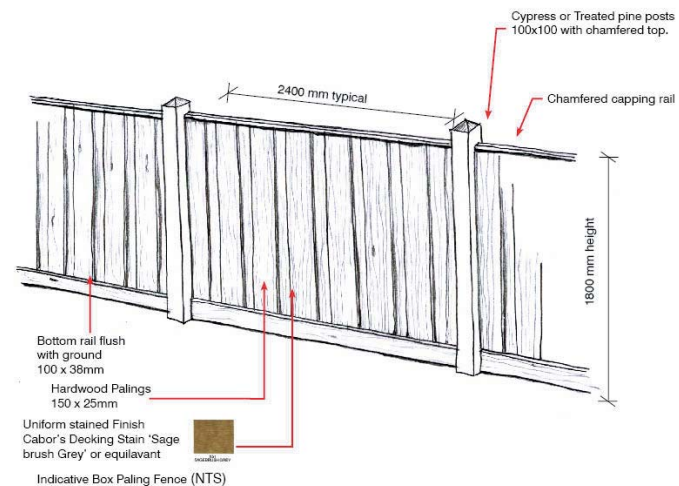
MR16 – Front fences are not permitted forward of the building line of the dwelling. Front fencing in line with a dwelling shall be a maximum 1.2 metres high if constructed of masonry or 1.8 metres high if timber palings or slats are used with a minimum 30% transparency and accompanied by landscaping. On corner allotments fencing shall not extend more than 40% of the total length of the combined street abuttal.

MR17 – If paling fences are used, they must be capped, and constructed to a Design Panel standard as illustrated opposite. Maximum fence height is 1.8 metres. Rear fencing can be solid or semi-transparent. Metal sheet fencing will not be permitted, however, Colourbond Miniorb (or similar) with timber posts and capping may be permitted.

MR18 – Fences adjoining public areas (e.g. side streets or parks) must be stained in a standard tone, and 1.8 metres high.

DR8 – Side boundary fences fronting the street are to be constructed to complement the main dwelling design, materials and colours.

DR9 – Gates are to be consistent with the fence details and house materials and integrated in the house design.



MR16 & MR17 – Preferred Fence Style & Colour

3 Architectural Design

3.1 Building Materials and Colours

Botanic Ridge seeks to promote housing that can integrate with the natural environment being regenerated throughout the estate.

Materials and finishes that present a low profile are promoted, particularly where adjacent to Browns and Pearcedale Road, where a rural residential character is to be presented.

Single solid wall faces are to be avoided. Articulation of all building facades is encouraged to improve interest and character. A mix of natural materials, utilising sustainable materials where possible is encouraged.

DR10 – Exposed plantation timber, masonry and stone are encouraged. Rendered surfaces and exposed brickwork may be used in conjunction with these materials. The use of single colour brickwork or single coloured rendered surfaces is discouraged.

Colours of all wall surfaces, as well as door and window details should be limited to muted natural tones that blend with vegetation and surrounding rural areas.

External decoration should be kept to simple designs reflecting the Australian country environment. Over ornamentation is discouraged. In particular, mock Victorian, Edwardian or other heritage detailing is to be avoided.

Eaves are an important part of building design, providing shade in summer and should be incorporated wherever possible.

Materials and colours used on carports/garages and verandahs should compliment those of the dwelling. Non reflective, muted tones should be provided.

DR11– Design building facades to have variation in height and setback to reduce the impact of the dwelling from the street.

DR12– Where double storey construction is proposed, first floors are to be articulated, and cover no more than 60% of the ground floor area. Simple extruded forms will not be accepted. First floor forms are to be designed to prevent overlooking and minimise overshadowing of neighbouring private open spaces. A building not on or within 150mm of a boundary should be set back from side or rear boundaries 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

DR13– Each dwelling to be provided with a minimum of 12 sqm of level open space, with convenient access from a living room.



Combination of cladding & exposed brick



Colours to blend with vegetation & landscape

3 Architectural Design

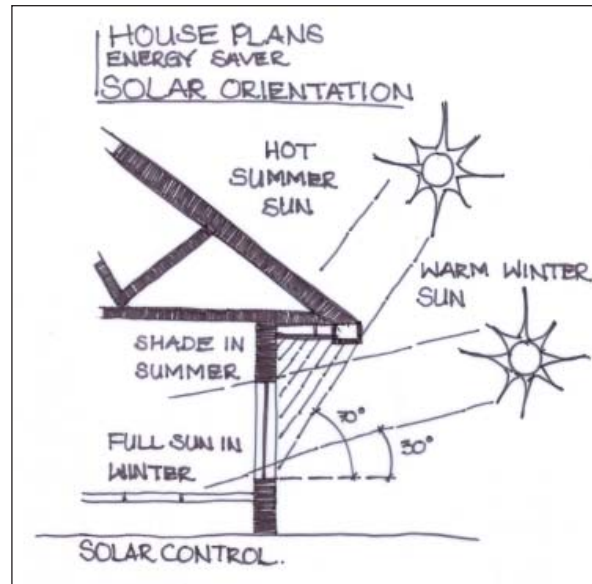
3.2 Energy Efficient Design

MR19 – All dwelling plans must achieve at least a 5 star rating or an equivalent home energy rating scheme.

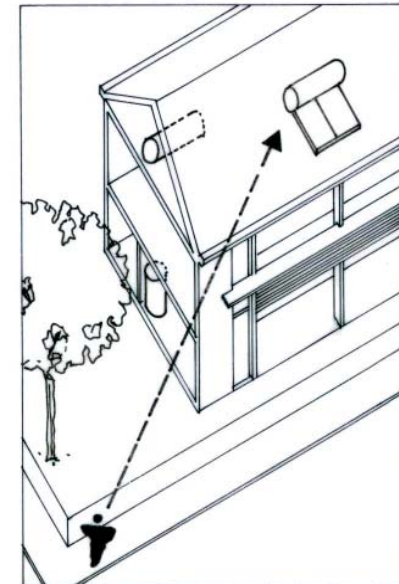
Dwellings should be sited and designed to achieve the following:

- oriented to make appropriate use of solar energy;
- sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced;
- internal room planning to maximise sunlight access through the dwelling;
- windows which are orientated for sun access in winter and cross-ventilation for summer;
- adequate insulation in the walls, ceilings and floors; and
- encourage landscape design that assists in facilitating entry of sunlight into the living areas of the dwelling, particularly in winter.

MR20 – All dwellings are to install solar hot water systems. Where solar water heaters are located on roof pitches, they must be located to minimise their visibility from streets and public areas.



MR19 – Solar Efficiency



MR20 – Solar Hot water systems



3 Architectural Design

3.3 Roof

Form

A mix of roof forms is expected within each street.

DR14 – All roofs should provide adequate pitch to enable natural insulation and ventilation within the roof space.

DR15 – All roofs should incorporate eaves with a minimum dimension of 600mm to back of fascia. Alternative design solutions may be permitted by the design panel, where it can be illustrated that the house design meets all other criteria of the Siting and Design Controls and the exclusion of eaves either in part or in full provides an appropriate design solution.



Pitch and eaves on a corner allotment



Adequate pitch

3 Architectural Design

Material

The estate objective is to ensure that the landscape dominates the streetscape with external building finishes complementing this landscaping.

Cement and Terracotta roof tiles, corrugated colorbond iron and metal tray deck are acceptable roof claddings.

MR21– Roofs must be constructed in non reflective and muted tones. Strong colours such as brick red are prohibited as these can dominate the streetscape and long distance views through vegetation from the Botanic Gardens.

3.4 Privacy

Innovative, practical solutions are sought from the building designers to address the issues of privacy between adjacent attached dwellings in accordance with the provisions of any relevant codes.

DR 16– Provide sun shading devices and screen planting to improve visual privacy.

DR 17– Any decks overlooking neighbouring lots must have balustrade incorporating privacy measuring. Eg. screen planting, upward fencing louvers, timber screens. All screens to be designed as integral component of main house/terrace.

External Lighting

Lighting of outdoor entertaining areas or tennis courts must be detailed on plans to be lodged with the Design Assessment Panel (DAP) to ensure that such lighting is necessary and of suitable design.

DR18 – All external lighting is to be baffled to minimise intrusion of such lighting to adjoining neighbours and the surrounding area.



A mixture of forms and variations is encouraged.

4 Landscape Design

The revegetation of Botanic Ridge through planting of indigenous vegetation on private properties, in street reserves and parks, is not just to create a natural feel to the estate. The use of an indigenous theme (and exclusion of environmental weeds) is fundamental to broadening and complementing the adjoining Royal Botanic Gardens Cranbourne.

Established in 1970 the Royal Botanic Gardens, Cranbourne, are dedicated to the conservation, display and enjoyment of Australian flora. The Gardens are an important natural haven of indigenous plants, established from new stock and remnant bush land on the site. Key features of the Gardens include a large area of natural bush land and the ongoing development of a display garden of Australian plants.

The conservation of indigenous species is vital to maintaining local biodiversity of plants and animals. This is a critical part of creating a sustainable environment for current and future generations.

The need to establish and maintain an indigenous theme at Botanic Ridge is therefore viewed by the developers and community as the fundamental goal in the landscaping of all public and private land in the estate.

This is a challenge for all residents and users of the area, requiring education, practice and persistence in methods of indigenous planting, cultivation and maintenance.



Tree Planting Masterplan

4 Landscape Design

4.1 Vegetation

Appendix 2 of the Controls lists indicative preferred plants for the estate, the final selection of which will be approved as part of the detailed construction plans for each stage. These are being utilised in public parks and road reserves to complement the Royal Botanic Gardens Cranbourne and to regenerate the estate to a indigenous theme. Some exotic species will be used to provide highlights and visual interests at key locations.

The planting of indigenous vegetation across all of the estate minimises any risk of weed infestation to the gardens and parks of Botanic Ridge through the spread of air borne seeds from exotic weeds.

Landscaping for individual dwellings should seek to maximise tree canopy throughout the estate and consider site specific needs including screening for privacy, solar and wind protection as well as individual aesthetics.

MR22 – Areas identified as Tree planting zones on Building Envelope plans must be planted with indigenous species, as detailed on the site plan accompanying your Contract of Sale.

DR19 – Individual lot owners are encouraged to use the preferred planting list detailed in Appendix 2 to reinforce planting themes for the estate.

Appendix 3 to these controls lists plants that are prohibited from the estate.



An example of preferred streetscape.

These are considered environmental weeds to the area. In particular it is important that such weeds do not infiltrate the open space areas of Botanic Ridge or the adjoining Royal Botanic Gardens where native flora and fauna is being regenerated and protected.

MR23 – Plants listed as Environmental Weeds in Appendix 3 are not to be planted on any public or private land of Botanic Ridge.



4 Landscape Design

4.2 Rainwater Harvesting

When land is developed for urban purposes the natural water cycle of land is significantly altered. This has impacts on the local soils, underground water flows and local stream networks.

In a natural environment approximately 10% of water from rainfall runs off a site across the surface of the land, with the remainder either evaporating back to the air (40%) or filtering into the soil (50%).

In a residential estate such as Botanic Ridge, where buildings, roads and footpaths cover 35 – 50% of the land, 30% of the water runs off the site, generally through stormwater drains with only 35% of water filtering into the land and 35% evaporating to the sky.*

Accordingly, to conserve run off, a drainage strategy has been prepared specifically for the unique rainwater harvesting. Re use is required with new dwellings to conserve runoff.

The introduction of a golf course into the northern section of the estate is also an integral part of the water reuse system. Irrigation of the course from retention dams plays a major part in reducing out flows from the estate into adjoining waterways.

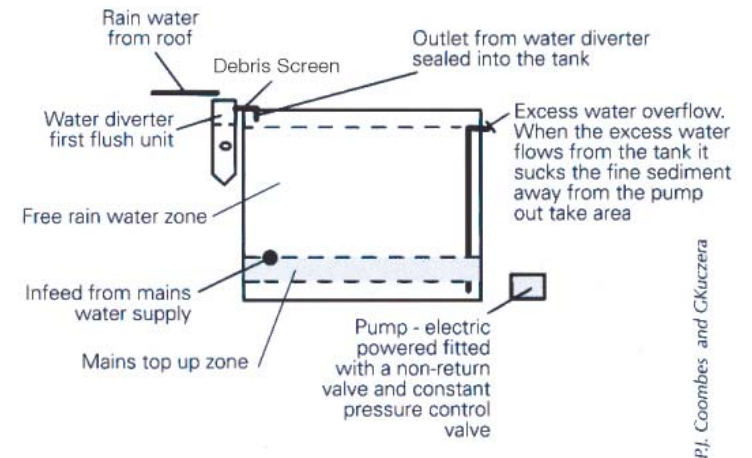
Up until recently, conventional residential estates disposed of run off water through underground drains that led to streams, rivers and oceans, without much thought as to the impact of the amount, speed or quality of the water that was entering these systems.

Today, as our population grows we draw upon more and more water for drinking, cooking and cleaning. As such we have become more aware of the need to conserve this water for these priority needs and minimising its use for watering of gardens and flushing of toilets.

Botanic Ridge is endeavouring to minimise the change in run off water from the estate to surrounding areas. Hence, storm water run off is directed into designed wetland areas to be naturally cleaned through reed and rock beds before exiting the site into the adjoining stream environments.

By requiring harvesting of rainwater from house and garage roofs we are also able to store and reuse water for gardens and toilets. This reduces the overall run off of water from properties as well as ensuring that drinking water (potable water) is conserved for domestic uses.

*Source: Federal Interagency Stream Restoration Working Group 1998)



MR24 – Rainwater Tank Detail.

Source: Coombes P.J., Kuczera G (2001) Rainwater Tank Design for Water Supply and Stormwater Management, Proceedings of the Stormwater Association Industry Association Regional Conference.

4 Landscape Design

MR24 – Dual plumbing must be provided for all dwellings with a rainwater tank (minimum 3,000 litres for lots less than 650 sqm and 4,500 litres for lots greater than 650 sqm) provided and plumbed with a pressurised connection for toilet flushing and garden watering. Maximise return of water to natural water table to minimise downstream impacts and create a more sustainable solution.

DR 20 – Water tanks should be of a suitable non reflective, muted colour and should blend in with the house colour. The tank should be connected to the drainage system so that any overflow from the tank is disposed of in the same way as normal run-off.

4.3 Hard Surfaces

DR21 – Areas of hard landscaping, including paved areas should be minimised to allow maximum infiltration into soil.

4.4 Shade and Shade structures

Shade and shade structures are important to reducing the impact of summer heat and glare as well as providing wind and rain protection.

Trees and shrubs can also provide important wind and sun protection in both summer and winter. Use of both elements are encouraged.

DR22 – Built structures and shade elements should complement building structures and integrate with both building and landscape design.

As detailed in Section 5 of these controls a Landscape Plan must be prepared as part of the approval process for dwellings in the estate.



MR24 – Indicative watertank

4 Landscape Design

4.5 Composting

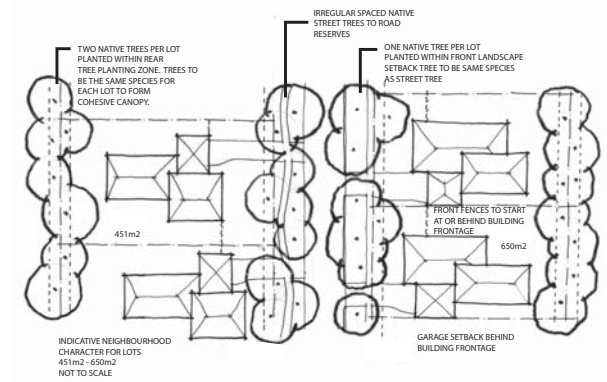
As part of the environmental goals of Botanic Ridge, composting of household wastes is encouraged. A designated location of compost bin/s should be provided as part of the landscape plan to be developed. Sites are generally large to promote on site composting and re use of this compost in domestic gardens.

DR23 – Incorporate provision for composting within site planning for gardens.

4.6 Broadbanding

To enable telecommunicating and reducing overhead cables, broadband optic fibre conduits will be provided for in each dwelling.

MR25 – Broadband optic fibre conduits will be provided for in each dwelling.





5 Approval Process

5.1 Design Assessment Panel

To ensure that Botanic Ridge Estate is developed in a consistent manner, meeting the environmental and amenity objectives of these Controls, a Panel has been appointed to review and issue approvals prior to Building Certification. The Design Assessment Panel will consist of a qualified architect, qualified landscape architect and a developers representative, appointed by the Developer.

The Design Assessment Panel will review submissions promptly and assess whether the design meets the controls for the estate. They will assist you in preparing plans and offer ideas to improve environmental, amenity and building elements of individual developments to achieve the overall goals for the Botanic Ridge Estate.

The Mandatory Requirements must be met. The panel may consider and approve alternatives to the Design related Requirements (DR) provided the design betters the intent of the DR and demonstrates it meets the goals and objectives of this document. Alternatively, if other design related requirements are exceeded, then this can be taken into account in decision making.

The Panel will make decisions regarding designs in addition to any approvals required by the Planning Authority or under the Building Control Act. It will not replace these broader approval processes.

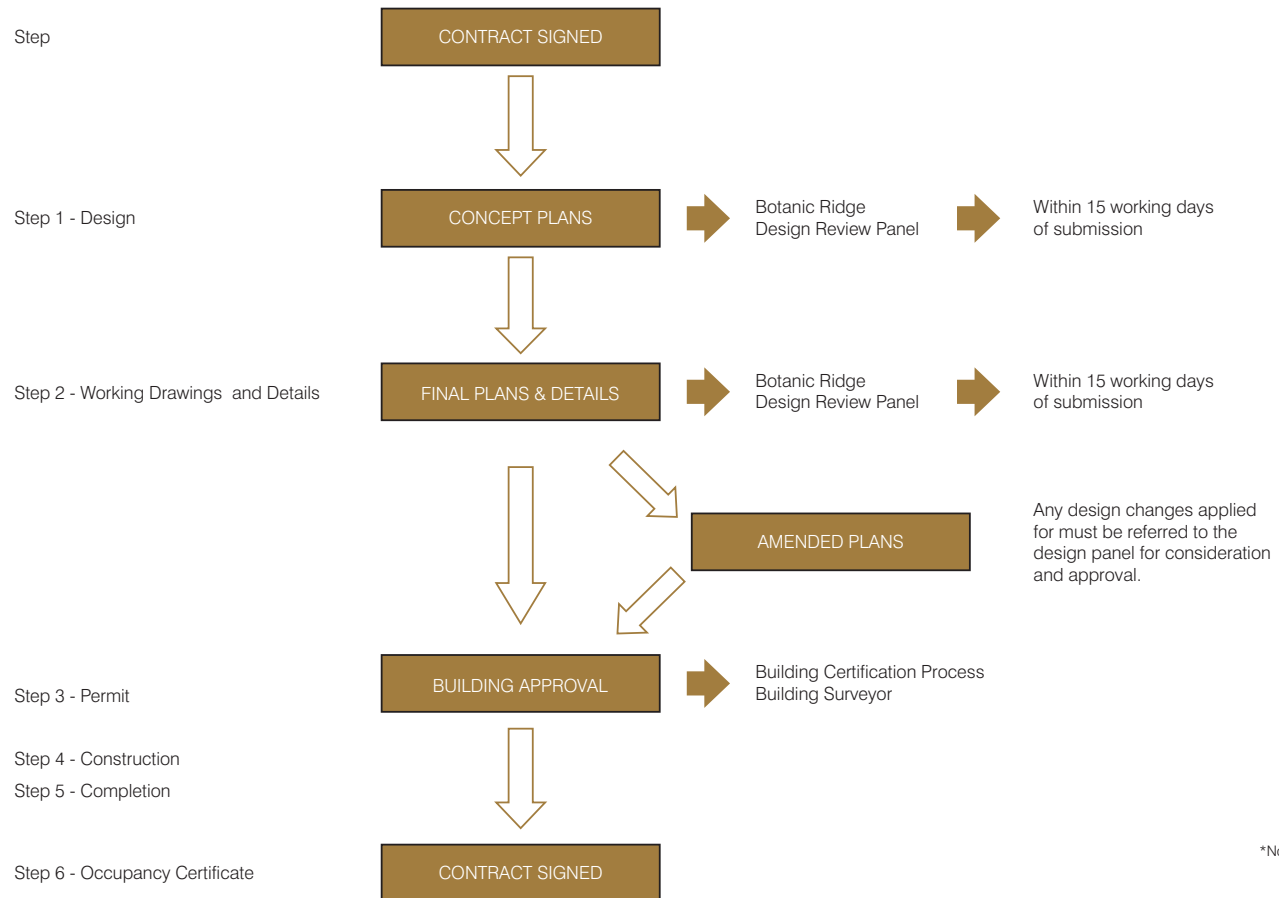
Wherever possible the Panel will work with you to enable your design preferences to be achieved, and is available for consultation prior to presentation of plans if necessary.

To ensure these controls meet reasonable owner expectations, the DAP will submit a quarterly report to the City of Casey outlining typical issues addressed by the DAP. The document may include recommendations to Council, resulting in amendments to the Controls that will improve design outcomes.



5 Approval Process

Botanic Ridge Approval Process



*Note: Once DAP expires this Approval Process can be changed to the satisfaction of the Responsible Authority



5 Approval Process

5.2 The Process:

1. Design

Land Purchaser and Builder/Designer review Council requirements, covenants and the Botanic Ridge South Siting and Design Controls.

Land purchasers are encouraged to make contact with the Design Assessment Panel before committing to a builder or house design.

Dwelling sketch designs developed based on careful site planning addressing the site conditions of individual lots should be provided. Issues to consider include:

- Solar and wind orientation
- Potential views
- Tree protection and revegetation opportunities
- Points of access
- Relationship of adjoining lots, buildings and open space areas
- Site topography

2. Design Application

The following information needs to be submitted to the Panel for review and approval prior to lodging an application for building approval (and Planning Approval if required):

- Site plan – (1:200) showing contours
- Building plans.

Sketch designs (1:100) of proposed dwelling and outbuildings including:

- Internal layout including rooms, balconies, verandahs, decks, windows, openings and dimension.
- All elevations
- Roof form and pitch
- Sections through dwelling, indicating where cut and fill are required across the site.
- Details of external materials and colours, particularly of walls, roofs and any solid fencing/retaining walls.

Landscape Plan:

Sketch design of proposed landscaping (1:200) detailing:

- Location and detail of all planting, utilising preferred plant schedule wherever possible.
- Detail of any vegetation on the site to be removed. Note most trees retained on the estate are considered significant and should not be removed as a result of building.
- Details of any fences, retaining walls or other landscape structures.
- Details of any external lighting.
- Details of design and materials of hard surfaces including driveways, pathways and other hard standing areas such as swimming pools and tennis courts.



5 Approval Process

3. Design Assessment and Approval

Dwelling designs submitted with information detailed above should be submitted to the Design Panel.

The Panel will promptly approve those plans that comply with the Siting and Design Controls within 15 working days.

If a design varies from the criteria or is considered to be inconsistent with the design objectives, the Design Panel will work with you to offer alternatives to achieve design preferences of owners within the estate objectives of Botanic Ridge. Any design changes applied for must be referred to the DAP for consideration and approval.

If the design is refused by the DAP, the landowner may ask Council to give approval. The process to be followed in obtaining the consent of Council is that a person must apply to Council and provide:

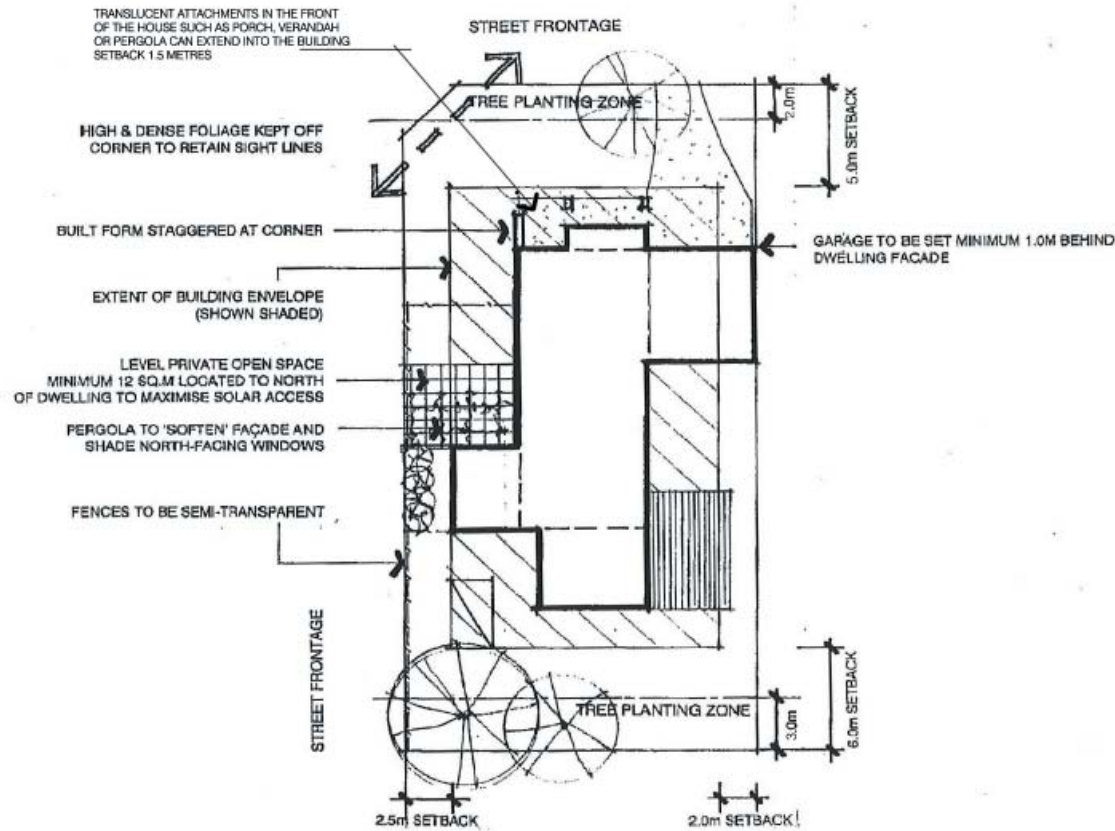
- > Detailed plans of the proposal
- > A statement explaining how the proposal complies with the overall objectives of the Neighbourhood Character and Design Commitment.
- > Provide the reason as to why the Design Panel has refused to approve the proposal, and
- > Pay the specified application fee.

4. Approval and Construction

Upon receiving approval an application can then be made for Building approval (and Planning approval if necessary).

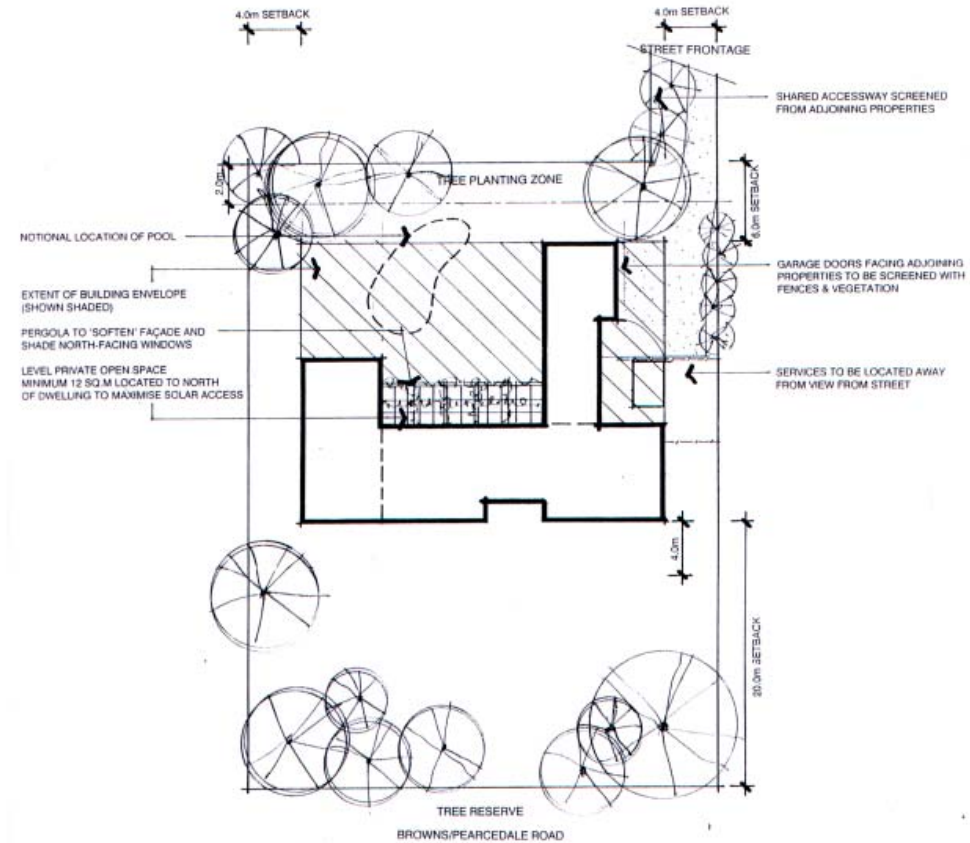


Appendix 1 – Indicative Building Envelopes



Botanic Ridge South

Notional Building Footprint
 Corner Lot- 650-750 sqm

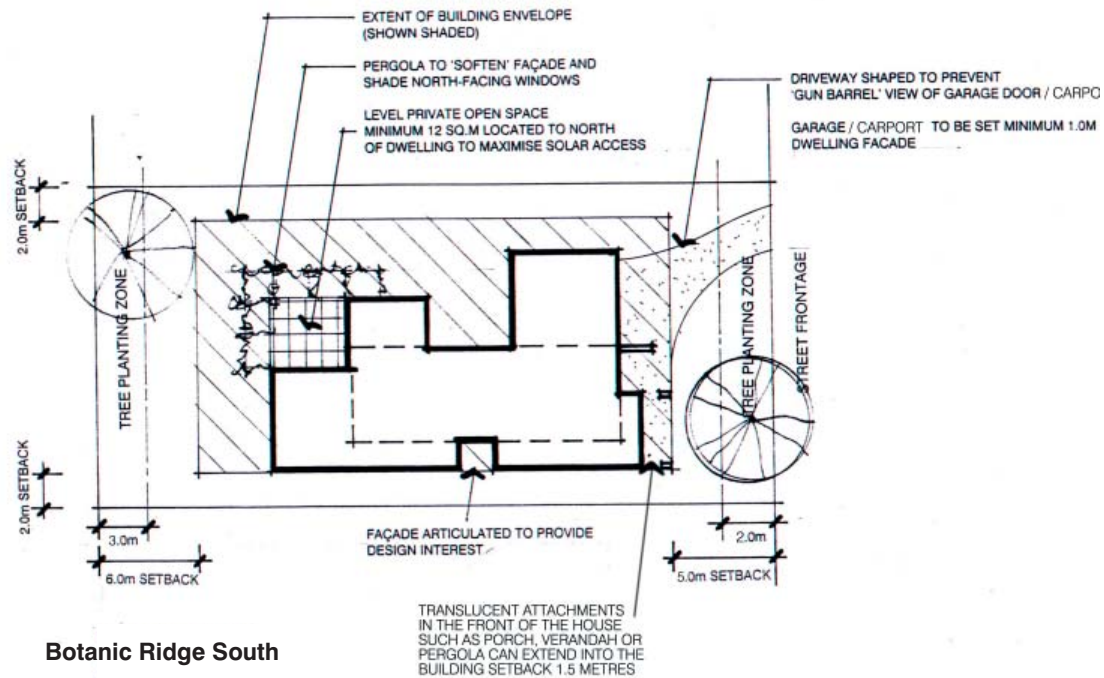


Botanic Ridge South

Notional Building Footprint
 1600 sqm lot addressing
 Browns and Pearcedale Roads



Appendix 1 – Indicative Building Envelopes



Botanic Ridge South

Notional Building Footprint
750-850 sqm lot



Appendix 2 – List of Preferred Plants

Indigenous Plants – Wetland

Species	Common name
Baumea acuta	Pale Twig Rush
Baumea rubiginosa	Soft Twig Rush
Carex breviculmis	Short Stemmed Sedge
Crassula helmsii	Swamp Crassula
Cyperus lucidus	Leafy Flat Sedge
Eleocharis acuta	Common Spike Rush
Juncus australis	Austral Rush
Juncus bufonius	Toad Rush
Juncus pallidus	Pale Leaf Rush
Myriophyllum simulans	Red Water Milfoil
Myriophyllum variifolium	Watermilfoil
Carex appressa	Tall Sedge
Carex inversa	Common Sedge
Bolboschoenus medianus	Marsh Club - sedge

Species	Common name
Eleocharis sphacelata	Tall Spike Rush
Isolepis fluitans	Floating Club Rush
Isolepis inundata	Swamp Club Rush
Isolepis nodosa	Knobby Club Rush
Persiciana decipens	Slender Knotweed
Phragmites australis	Common Reed
Restio tetraphyllus	Tassel Cord
Schoenus apogon	Common Bog Rush
Schoenus lepidosperma	Slender Bog Rush
Schoenus leposperma	Slender Bog Rush
Typha orientalis	Broad Leaf Cumbungi
Tricoryne elatior	Yellow Rush Lily
Triglochin procerum	Water Ribbons
Potamogeton tricarinatus	Floating Pond Weed



Appendix 2 – List of Preferred Plants

Indigenous Trees

Species	Common name
<i>Acacia dealbata</i>	Silver Wattle
<i>Acacia mearnsii</i>	Black Wattle
<i>Acacia melanoxylon</i>	Blackwood
<i>Allocasuarina littoralis</i>	Black Sheoak
<i>Eucalyptus camaldulensis</i>	River Red Gum
<i>Eucalyptus cephalocarpa</i>	Mealy stringybark
<i>Eucalyptus goniocalyx</i>	Long leaf box
<i>Eucalyptus ovata</i>	Swamp Gum
<i>Eucalyptus radiata</i>	Narrow leaf Peppermint
<i>Eucalyptus melliodora</i>	Yellow Box
<i>Eucalyptus ovata</i>	Swamp Gum
<i>Eucalyptus pauciflora</i>	Snow Gum
<i>Eucalyptus viminalis</i> ssp. <i>pyroriana</i>	Manna Gum
<i>Eucalyptus willisii</i>	

Native & Exotic Trees

Species	Common name
<i>Acer palmatum</i> 'Senkaki'	Senkaki Japanese Maple
<i>Angophora costata</i>	Smooth Bark Apple Myrtle
<i>Brachychiton acerifolium</i>	Flame Tree
<i>Callitris columellaris</i>	Bribie Island Pine
<i>Eucalyptus caesia</i> 'Silver Princess'	Silver Princess
<i>Eucalyptus citriodora</i>	Lemon-scented Gum
<i>Eucalyptus ficifolia</i>	Red Lowering Yellow Gum
<i>Eucalyptus maculata</i>	Spotted Gum
<i>Eucalyptus scoparia</i>	Wallangarra White Gum
<i>Gletitsia triacanthos</i> 'Shademaster'	Honey Locust
<i>Pyrus calleryana</i> 'Red Spire'	Red Spire Pear



Appendix 2 – List of Preferred Plants

Indigenous and Native Shrubs

Species	Common name
<i>Acacia cognata</i> 'Green Mist'	Green Mist Wattle
<i>Anigozanthos flavidus</i>	Kangaroo Paw
<i>Anigozanthos flavidus</i> 'Pink Joey'	Pink Kangaroo Paw
<i>Banksia marginata</i>	Silver Banksia
<i>Brachysema celsianum</i>	Brachysema
<i>Callistemon pallidus</i>	Bottlebrush
<i>Cassinia aculeata</i>	Common Cassinia
<i>Cassinia arcuata</i>	Drooping cassinia
<i>Correa reflexa</i>	Native Fuchsia
<i>Dianella revoluta</i>	Black Flax Lily
<i>Dianella longifolia</i>	Pale Flax-lily
<i>Dietes bicolor</i>	Fortnight Lily
<i>Dietes iridioides</i>	Fortnight Lily
<i>Eriostemon myoporoides</i>	Long-leaf Wax Flower
<i>Grevillea thelemania</i>	Spider Net Grevillea
<i>Hakea nodosa</i>	Yellow Hakea
<i>Hakea ulicina</i>	fure hakea
<i>Helichrysum scorpioides</i>	Button Everlasting
<i>Hibbertia sericea</i>	Silky Guinea Flower
<i>Isopogon ceratophyllus</i>	Horny Cone bush
<i>Leptospermum myrsinoides</i>	Heath Tea Tree

Species	Common name
<i>Leucopogon australis</i>	Pink Beard Heath
<i>Leucopogon virgatus</i>	Common Beard Heath
<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush
<i>Myoporum parvifolium</i>	Creeping Boobialla
<i>Myoporum parvifolium</i> 'Purpurea'	Purple Creeping Boobialla
<i>Olearia argophylla</i>	Snow Daisy Bush
<i>Phormium</i> 'Bronze Baby'	Bronze Baby N.Z. Flax
<i>Phormium</i> 'Maori Maiden'	Dwarf N.Z. Flax
<i>Phormium tenax</i> 'Purpureum'	Purple N.Z. Flax
<i>Pimelea flava</i>	Yellow Rice Flower
<i>Pimelea ferruginea</i>	Red Rice Flower
<i>Tetradlea ciliata</i>	Black Eyed Susan
<i>Westringia</i> 'Wynyabbie Gem'	Native Rosemary
<i>Xanthorrhoea australis</i>	Grass Tree
<i>Xanthorrhoea minor</i>	Small Grass Tree



Appendix 2 – List of Preferred Plants

Indigenous and Native Ground Covers

Species	Common name
<i>Agonis flexuosa nana</i>	Groundcover peppermint
<i>Anigozanthos 'dwarf delight'</i>	Kangaroo Paw
<i>Brachycome multifida</i>	Cut-leaf Daisy
<i>Brachyscome 'Lemon Twist'</i>	Lemon-flowered Cut-leaf Daisy
<i>Brachyscome multifida 'Alba'</i>	White Cut-leaf Daisy
<i>Brachysema lanceolatum</i>	Swan River Pea
<i>Correa reflexa ver. nummulariifolia</i>	Groundcover Correa
<i>Grevillea formosa</i>	Spider Grevillea
<i>Grevillea x gaudichaudii</i>	Groundcover Grevillea
<i>Helichrysum scorpiodes</i>	Button Everlasting
<i>Kennedia rubicunda</i>	Dusky Coral Pea
<i>Leptospermum horizontalis</i>	Horizontal Tea Tree
<i>Pratia pedunculata</i>	Matted Prahtia
<i>Ranunculus lappaceus</i>	Australian Butter-cup
<i>Scaevola hookeri</i>	Creeping Fan Flower
<i>Thryptomene saxicola</i>	Thryptomene
<i>Viola hederacea</i>	Native Violet



Appendix 2 – List of Preferred Plants

Indigenous and Native Grasses

Species	Common name
Danthonia laevis	Smooth Wallaby Grass
Danthonia caespitosa	Common Wallaby Grass
Danthonia pilosa var. pilosa	Velvet Wallaby Grass
Microlaena stipoides	Weeping Grass
Pennisetum alopecuroides	Fountain Grass
Poa labillardieri	Tussockk Grass
Poa morrisii	Velvet Tussock grass
Stipa mollis	Soft Spear Grass
Stipa rudis	Vined Spear Grass
Themeda triandra	Kangaroo Grass

Indigenous and Native Climbers

Species	Common name
Clematis aristata	Australian Clematis
Clematis microphylla	Small leafed Clematis
Hardenbergia violacea	Purple Coral Pea
Kennedia prostrata	Running Postman
Pandorea pandorana	Wonga vine



Appendix 3 – List of Prohibited Plants

Regionally Prohibited Weeds

Species	Common name
<i>Hommeria flaccida</i> sweet	Cape tulip (One leaf)
<i>Hommeria miniata</i> sweet	Cape tulip (Two Leaf)
<i>Hypericum tetrapterum</i>	St. Peters Wort
<i>Marrubium vulgare</i> L.	Horehound
<i>Onopordum acanthium</i> L.	Scotch/Heraldic thistle

Environmental Weeds

Species	Common name
<i>Acacia baileyana</i>	Cootamundra Wattle
<i>Acacia decurrens</i>	Early Black Wattle
<i>Acacia elata</i>	Cedar Wattle
<i>Acer pseudoplatanus</i>	Sycamore Maple
<i>Coprosma robusta</i>	Karamu
<i>Cytisus palmensis</i>	Tree Lucerne or Tagasaste
<i>Hakea salicifolia</i>	Willow Hakea
<i>Ilex aquifolium</i>	Holly
<i>Paraserianthes lophantha</i>	Cape Wattle



Appendix 3 – List of Prohibited Plants

Regionally Controlled Weeds

Species	Common name
<i>Ailanthus altissima</i>	Tree of Heaven
<i>Allium triquetrum</i> L.	Angled Onion
<i>Calicotome spinosa</i> (L)	Spiny Broom
<i>Carduus tenuiflorus</i>	Slender/Shore Thistle
<i>Chrysanthemoides monilifera</i> (L)	Boneseed/Bitou Bush
<i>Cirsium arvense</i> (L)	Californian/Perennial Thistle
<i>Cirsium vulgare</i>	Spear Thistle
<i>Conium maculatum</i> L.	Hemlock
<i>Crataegus monogyna</i>	English Hawthorn
<i>Cynara cardunculus</i> L.	Artichoke Thistle
<i>Cytisus scoparius</i> (L)	English/Scotch Broom
<i>Datura ferox</i> L.	Thorn Apple (long-spine)
<i>Datura innoxia</i>	Thorn Apple (recurved)
<i>Datura stramonium</i> L.	Thorn Apple (common)
<i>Dittrichia graveolens</i>	Stinkwort
<i>Echium plantagineum</i> L	Paterson's Curse
<i>Foeniculum vulgare</i>	Fennel
<i>Genista linifolia</i> L.	Flax - leaved Broom
<i>Genista monspessulana</i> (L.)	Cape Broom
<i>Hypericum androsaemum</i> L.	Tutsan

Species	Common name
<i>Hypericum perforatum</i> L.	St. John's Wort
<i>Juncus acutus</i> L.	Spiny Rush
<i>Lycium ferocissimum</i>	African Boxthorn
<i>Rosa rubiginosa</i> L.	Sweet Briar
<i>Rubus fruticosus</i> L. agg.	Blackberry
<i>Senecio jacobaea</i> L.	Ragwort
<i>Senecio peterophorus</i>	African Daisy
<i>Silybum marianum</i> (L)	Varigated Thistle
<i>Solanum linnaeanum</i>	Apple of Sodom
<i>Ulex europaeus</i> L.	Furze/Gorse
<i>Watsonia bulbifera</i> (Syn. <i>W. meriana</i>)	Wild Watsonia



Appendix 4 – Checklist

Mandatory Requirements		✓ X															
MR1	Only one dwelling may be developed on each lot, except in the case of a nominated cluster or integrated housing site. In addition, no further subdivision of lots is permitted.																
MR2	<p>All buildings and structures (excluding fences and light poles) are to be located within the building envelope, as detailed on the Contract of Sale.</p> <table border="0"> <tr> <td>450–650m²</td> <td>651–850m²</td> <td>851–1000+m²</td> </tr> <tr> <td>Minimum setbacks:</td> <td>Minimum setbacks:</td> <td>Minimum setbacks:</td> </tr> <tr> <td>Front: 4.0m</td> <td>Front: 5.0m</td> <td>Front: 6.0m</td> </tr> <tr> <td>Rear: 4.0m</td> <td>Rear: 6.0m</td> <td>Rear: 6.0m</td> </tr> <tr> <td>Pergola: 3.0m</td> <td>Pergolas: 3.0m</td> <td>Pergola: 4.0m</td> </tr> </table>	450–650m ²	651–850m ²	851–1000+m ²	Minimum setbacks:	Minimum setbacks:	Minimum setbacks:	Front: 4.0m	Front: 5.0m	Front: 6.0m	Rear: 4.0m	Rear: 6.0m	Rear: 6.0m	Pergola: 3.0m	Pergolas: 3.0m	Pergola: 4.0m	
450–650m ²	651–850m ²	851–1000+m ²															
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Front: 4.0m	Front: 5.0m	Front: 6.0m															
Rear: 4.0m	Rear: 6.0m	Rear: 6.0m															
Pergola: 3.0m	Pergolas: 3.0m	Pergola: 4.0m															
MR3	The area defined as the rear tree planting zone on the building envelope plan will be planted and maintained with two (2) nominated trees, complimentary to the adjacent lots, so as to provide a cohesive tree canopy, from the schedule of trees detailed in Appendix 2. The area defined as the front tree planting zone on the building envelope plan will be planted out in accordance with the approved tree planting masterplan and building envelope and protected by the owner/occupier with at least one (1) tree of the same species as the adjoining street reserve.																
MR4	Dwellings and outbuildings (excluding fences and light poles) adjacent to Browns Road and Pearcedale Road must be setback a minimum of 20 metres from the boundary abutting the tree reservation fronting either of these roads.																
MR5	Houses upon allotments that abut either a service road or a tree reserve contiguous with Browns or Pearcedale Road must be sited to address these roads.																
MR6	All excavation and fill to be a maximum of 1 metre. Natural batters are preferred rather than retaining walls where excavation or fill is required.																
MR7	Dwellings outside the designated viewshed of the Botanic Gardens must not exceed 8.5 metres.																
MR8	Buildings should be designed to complement the natural topography where possible.																
MR9	Service features including water tanks, hot water systems, satellite dishes, external plumbing (other than roof spouting) and heating/cooling equipment must be screened from view from all public areas including streets, and open space.																
MR10	To maintain a high standard of streetscape within the development, letterbox design should reflect the main character and design of residence.																
MR11	The maximum floor area for any outbuilding is 40sqm with a maximum height of 3.6 metres to the peak of roof.																
MR12	Minimum width of front wall of the dwelling facing street of 5 metres.																



Appendix 4 – Checklist

Mandatory Requirements		✓ X
MR13	Garages/carports must be setback 1 metre behind building façade. Double garages/carports must not exceed 40% of frontage width. Triple fronted garages/carports are not permitted.	
MR14	Driveways must not exceed 4 metres in width, widening to 5.5 metres near double garage/carport entries. Generally, paved areas should be minimised to allow natural water infiltration and to reduce stormwater flows as well as maximising landscape opportunities. Driveways, pathways and other hard surfaces may be constructed of coloured concrete, or patterned concrete, cement or clay pavers or natural stone. Natural stone aggregate finishes are also suitable. All driveways should follow natural ground level and be no more than 1:6 gradient.	
MR15	Boats, caravans, trailers and commercial vehicles and similar equipment must be stored out of view of the street.	
MR16	Front fences are not permitted forward of the building line of the dwelling. Front fencing in line with a dwelling shall be a maximum 1.2 metres high if constructed of masonry or 1.8 metres high if timber palings or slats are used with a minimum 30% transparency and accompanied by landscaping. On corner allotments fencing shall not extend more than 40% of the total length of the combined street abuttal.	
MR17	If paling fences are used, they must be capped, and constructed to a Design Panel standard as illustrated. Maximum fence height is 1.8 metres. Rear fencing can be solid or semi-transparent. Metal sheet fencing will not be permitted, however, Colourbond Miniorb (or similar) with timber posts and capping may be permitted.	
MR18	Fences adjoining public areas (e.g side streets or parks) must be stained in a standard tone, and 1.8 metres high.	
MR19	All dwelling plans must achieve at least a 5 star rating or an equivalent home energy rating scheme.	
MR20	All dwellings are to install solar hot water systems. Where solar water heaters are located on roof pitches, they must be located to minimise their visibility from streets and public areas.	
MR21	Roofs must be constructed in non reflective and muted tones. Strong colours such as brick red are prohibited as these can dominate the streetscape and long distance views through vegetation from the Botanic Gardens.	
MR22	Areas identified as tree planting zones on Building Envelope plans must be planted with indigenous species, as detailed on the site plan accompanying your Contract of Sale.	
MR23	Plants listed as Environmental Weeds in Appendix 3 are not to be planted on any public or private land of Botanic Ridge.	
MR24	Dual plumbing must be provided for all dwellings with a rainwater tank (minimum 3,000 litres for lots less than 650 sqm and 4,500 litres for lots greater than 650 sqm) provided and plumbed with a pressurised connection for toilet flushing and garden watering. Maximise return of water to natural water table to minimise downstream impacts and create a more sustainable solution.	
MR25	Broadband optic fibre conduits will be provided for in each dwelling.	



Appendix 4 – Checklist

Design Requirements		✓ X
DR1	Orientate dwellings to maximise north solar penetration to living areas and shade outdoor living areas from westerly sun. Overshadowing of neighbouring properties is to be minimised.	
DR2	Allow adequate daylight into habitable room windows.	
DR3	Consider the location of openable windows and doors to allow natural ventilation of dwellings through summer and protection from cold winter winds.	
DR4	Garages/carports may be permitted to be constructed to one boundary of an allotment. The maximum length of building on boundary of any lot must not exceed 10 metres. Garages/carports may either be integral parts of the dwelling or freestanding structures.	
DR5	Where swing in garges are incorporated the following setbacks apply: 450–650 sqm: 4m, 651-800 sqm: 5m, 851-1000+sqm: 6m. The side wall must be designed to address the street frontage which could include a second storey above the garage.	
DR6	Colours of garages/carports used should complement the dwelling. The garage/carport roof is to complement the roof style of the dwelling. Refer Section 3.1 for further details regarding preferred external colours and materials. The garage door should complement dwelling design, and preferably be a tilt up panel door.	
DR7	Only one standard single width crossover will be provided per lot. Crossovers will generally be on the north side of an east/west lot to improve solar access.	
DR8	Side boundary fences fronting the street are to be constructed to complement the main dwelling design, materials and colours.	
DR9	Gates are to be consistent with the fence details and house materials and integrated in the house design.	
DR10	Exposed plantation timber, masonry and stone are encouraged. Rendered surfaces and exposed brickwork may be used in conjunction with these materials. The use of single colour brickwork or single coloured rendered surfaces is discouraged.	
DR11	Design building facades to have variation in height and setback to reduce the impact of the dwelling from the street.	



Appendix 4 – Checklist

Design Requirements		✓ X
DR12	Where double storey construction is proposed, first floors are to be articulated, and cover no more than 60% of the ground floor area. Simple extruded forms will not be accepted. First floor forms are to be designed to prevent overlooking and minimise overshadowing of neighbouring private open spaces. A building not on or within 150mm of a boundary should be set back from side or rear boundaries 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.	
DR13	Each dwelling to be provided with a minimum of 12sqm of level open space, with convenient access from a living room.	
DR14	All roofs should provide adequate pitch to enable natural insulation and ventilation within the roof space.	
DR15	All roofs should incorporate eaves with a minimum dimension of 600mm to back of fascia. Alternative design solutions may be permitted by the Design Panel, where it can be illustrated that the house design meets all other criteria of the Design Controls and the exclusion of eaves either in part or in full provides an appropriate house design solution.	
DR16	Provide sun shading devices and screen planting to improve visual privacy.	
DR17	Any decks overlooking neighbouring lots must have balustrade incorporating privacy measuring. Eg. screen planting, upward fencing louvers, timber screens. All screens to be designed as integral component of main house/terrace.	
DR18	All external lighting to be baffled to minimise intrusion of such lighting to adjoining neighbours and the surrounding area.	
DR19	Individual lot owners are encouraged to use the preferred planting list detailed in Appendix 2 to reinforce planting themes for the estate.	
DR20	Water tanks should be of a suitable non reflective, muted colour and should blend in with the house colour. The tank should be connected to the drainage system so that any overflow from the tank is disposed of in the same way as normal run-off.	
DR21	Areas of hard landscaping, including paved areas should be minimised to allow maximum infiltration into soil.	
DR22	Built structures and shade elements should complement building structures and integrate with both building and landscape design.	
DR23	Incorporate provision for composting within site planning for gardens.	